

The Village Shoppes of North Reading

#303 Main Street

North Reading, MA

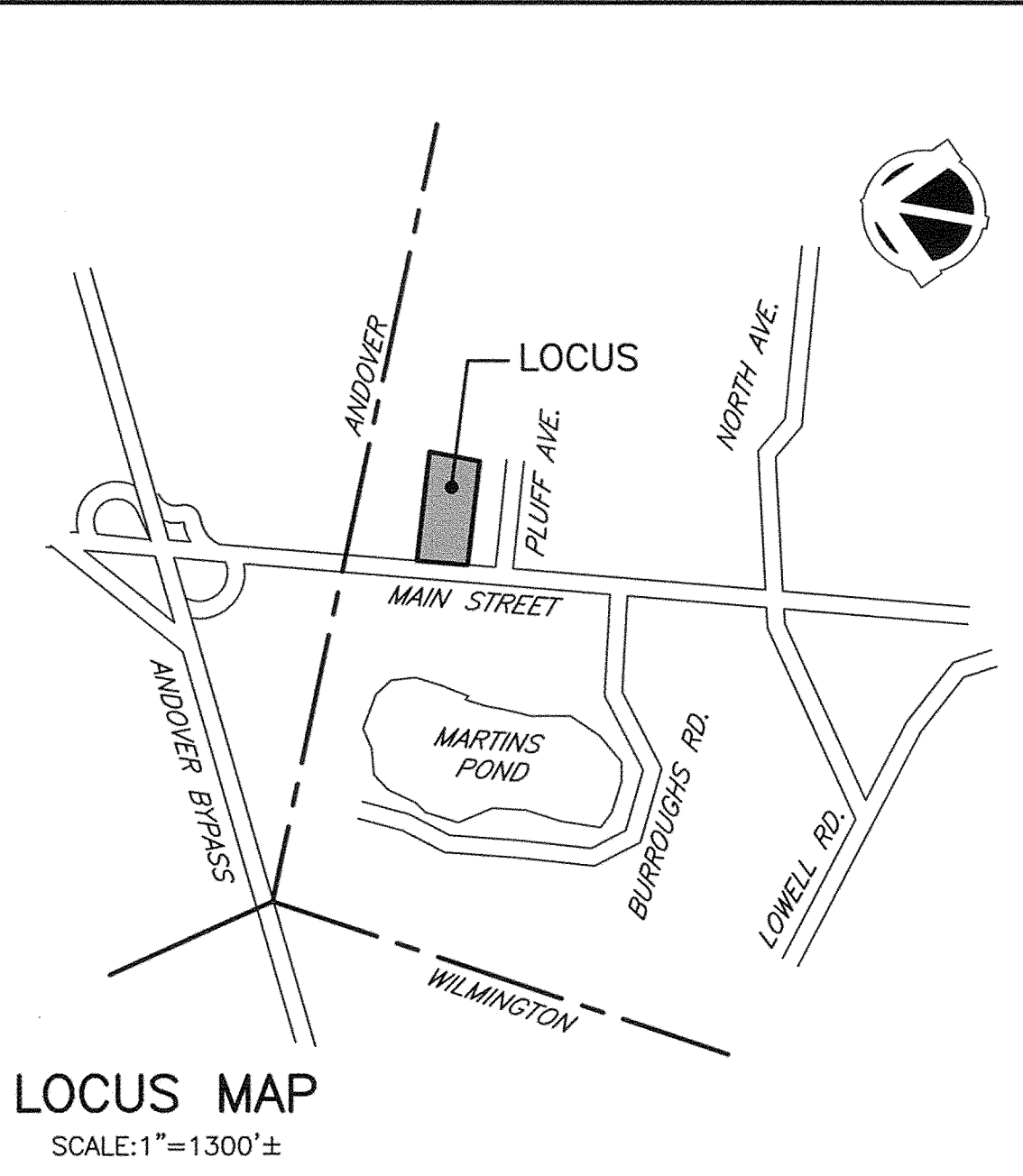
PROJECT NOTES:
 PROPERTY LIES WITHIN THE AQUIFER PROTECTION DISTRICT.
 PROPERTY LIES WITHIN THE COUNTRY ROAD MAIN STREET OVERLAY DISTRICT.
 PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA, SEE SHEET C3.

ZONING TABLE		
ZONE	HIGHWAY BUSINESS	
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED
FRONT YARD SETBACK	25 feet	25.5 feet
SIDE YARD SETBACK	20 feet	56.8 feet
REAR YARD SETBACK	20 feet	270.9 feet
MIN. FRONTAGE	125 feet	354.4 feet
MIN. LOT AREA	20,000 s.f.	138,543 s.f.
MAX. BUILDING AREA	70 %	12.7 %
MAX. BUILDING HEIGHT	60 feet	<60 feet
MIN. LANDSCAPE AREA	50 %	49.7 %
MAX. FLOOR AREA RATIO	2.0	0.11
PARKING (see calculations)	82 spaces	136 spaces

GROSS FLOOR AREA	
GROSS FLOOR AREA	14,768± s.f.

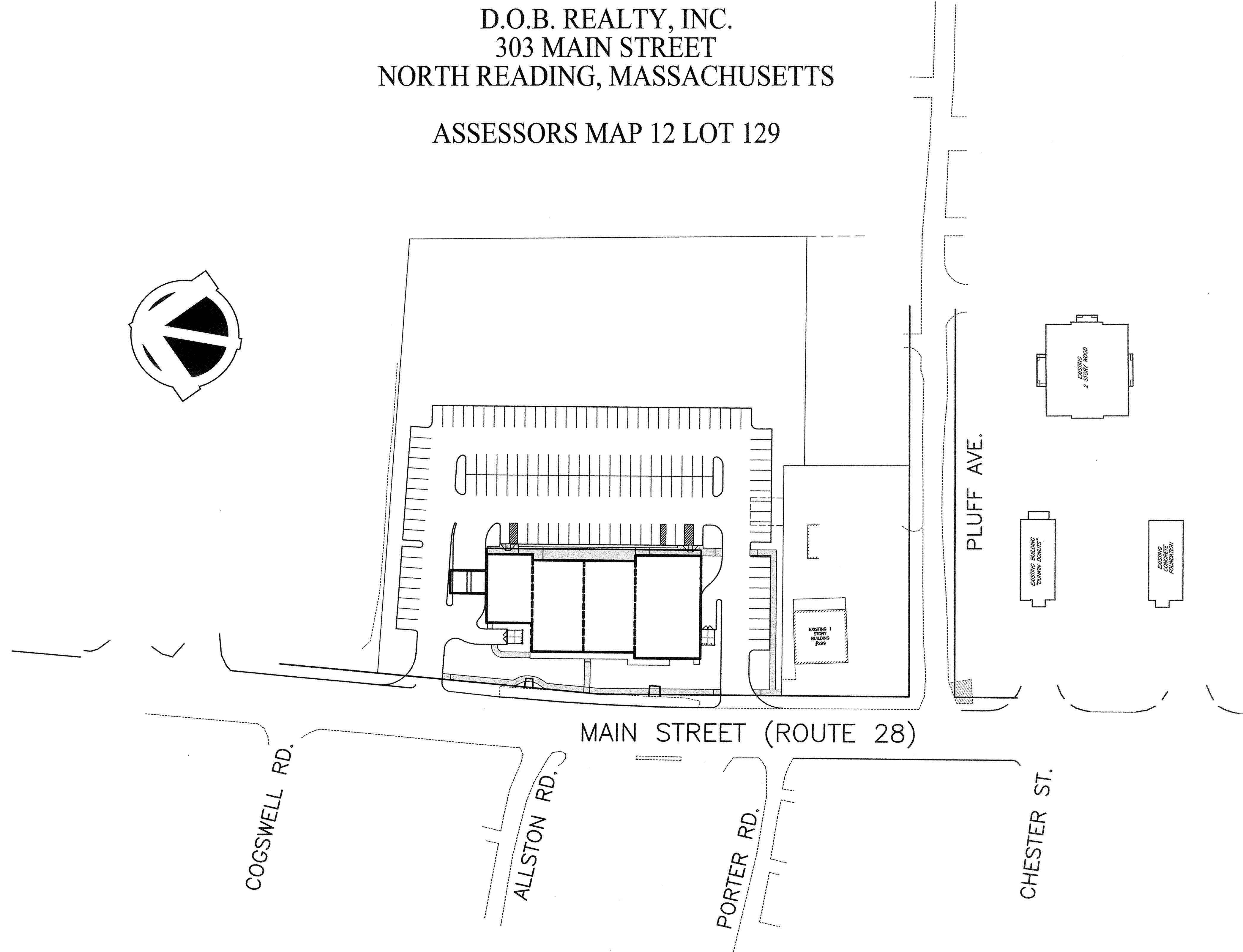
PARKING CALCULATIONS	
REQUIRED - OTHER RETAIL: 1 space/300 s.f. of gross floor area	
REQUIRED: (9,600 s.f.) * (1 space/300 s.f.) = 32 spaces	
REQUIRED - TAVERN: 1 space/4 seats	
REQUIRED: (200 seats) * (1 space/4 seats) = 50 spaces	
REQUIRED - HANDICAPPED: for 76-100 Total Spaces = 4 Handicapped	
TOTAL SPACES REQUIRED: (32 + 50) = 82 spaces	
TOTAL SPACES PROVIDED: 136 spaces (9'x18')	
TOTAL HANDICAPPED PROVIDED: 6	

SHEET INDEX	
PLAN TITLE	SHEET DESIGNATION
INDEX	C1
EXISTING CONDITION	C2
GRADING & DRAINAGE	C3
LANDSCAPE	C4
PHOTOMETRIC	C5
LAYOUT	C6
DETAILS	C7
DETAILS	C8

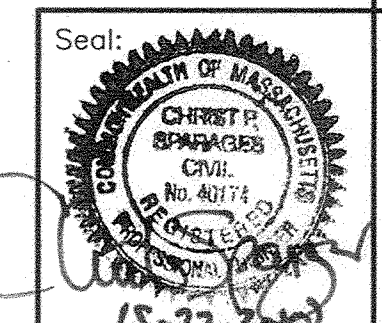


OWNER:
 D.O.B. REALTY, INC.
 303 MAIN STREET
 NORTH READING, MASSACHUSETTS

ASSESSORS MAP 12 LOT 129



NORTH READING COMMUNITY PLANNING COMMISSION



Prepared For:
 Applicant:
 D.O.B. Realty, Inc.
 154 E. Main Street
 Somerville, MA
 Tel: 617-592-7800

Prepared By:

 Hayco Engineering, Inc.
 603 South Street
 Wakefield, MA 01880
 Ph: 781-246-2800
 Fax: 781-246-7596
 www.haycoeng.com

Design By: CPS
 Drawn By: MEM
 Checked By: CPS
 Job No: NOR-0182A
 Comp. No: NOR49
 Issued For Permit
 Issued For Review
 Issued For Bid
 Issued For Construction
 Not For Construction

No.	Revision	Date
10		
9		
8		
7		
6		
5	Add outdoor seating	5/27/10
4	Move Building/ Reduce Parking Size	2/11/08
3	Town Comments	2/11/08
2	Town Comments	1/15/08
1		

Scale: 1"=50'
 0' 25' 50' 100'
 Date: December 3, 2007

Drawing Title:
 INDEX
 THE VILLAGE SHOPPES
 OF NORTH READING
 OF NORTH READING, MASS.

Drawing No.:
 C1
 SHEET 1 OF 8

NORTH READING COMMUNITY PLANNING COMMISSION

Applicant

D.G.B. Realty, Inc.
154 Bradley Street
Somerville, MA
Tel: 617 592 7800

Prepared By:

Hayes Engineering, Inc.
608 Salem Street
Wakefield, MA 01880
Ph: 781.246.2800
Fax: 781.246.2996
www.hayeseng.com

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Scale: 1"=20'
0' 10' 20' 40'
Date: December 3, 2007

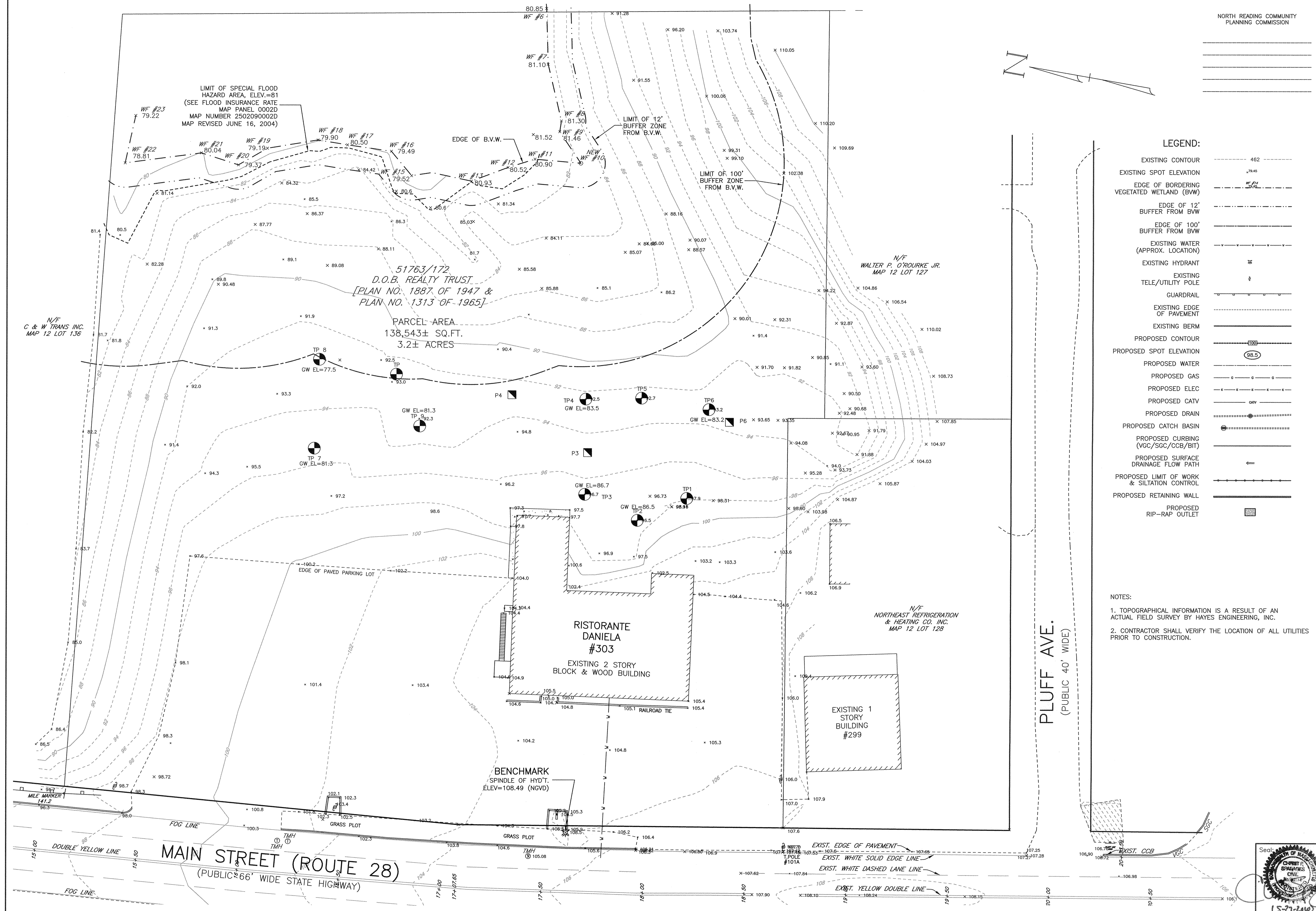
Drawing Title:

EXISTING CONDITION
THE VILLAGE SHOPPES
OF NORTH READING,
NORTH READING, MASS.

Drawing No.:

C2

SHEET 2 OF 8

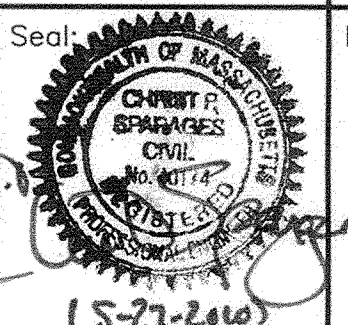


LEGEND:

EXISTING CONTOUR	---	462
EXISTING SPOT ELEVATION	x	78.45
EDGE OF BORDERING VEGETATED WETLAND (BWV)	- - - -	
EDGE OF 12' BUFFER FROM BWV	- - - -	
EDGE OF 100' BUFFER FROM BWV	- - - -	
EXISTING WATER (APPROX. LOCATION)	~~~~~	
EXISTING HYDRANT	⊕	
EXISTING TELE/UTILITY POLE	⊕	
GUARDRAIL	—+—+—+—	
EXISTING EDGE OF PAVEMENT	- - - -	
EXISTING BERM	- - - -	
PROPOSED CONTOUR	---	100
PROPOSED SPOT ELEVATION	x	98.5
PROPOSED WATER	~~~~~	
PROPOSED GAS	- - - -	
PROPOSED ELEC	—+—+—+—	
PROPOSED CATV	—+—+—+—	
PROPOSED DRAIN	-----	
PROPOSED CATCH BASIN	⊕	
PROPOSED CURBING (VGC/SGC/CCB/BIT)	—+—+—+—	
PROPOSED SURFACE DRAINAGE FLOW PATH	↑	
PROPOSED LIMIT OF WORK & SILTATION CONTROL	- - - -	
PROPOSED RETAINING WALL	▬▬▬▬	
PROPOSED RIP-RAP OUTLET	▬▬▬▬	

NOTES:

1. TOPOGRAPHICAL INFORMATION IS A RESULT OF AN ACTUAL FIELD SURVEY BY HAYES ENGINEERING, INC.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



BUFFER ZONE CALCULATIONS	
REQUIRED: NO MORE THAN 22% OF LANDS WITHIN 100' IMPERVIOUS	
REQUIRED: $(0.22) * (40625) = 8938$ s.f.	
PROVIDED: $(7334 + 33) = 7367$ S.F. = 18.1%	
REQUIRED: ALTERING NO MORE THAN 75% OF LANDS WITHIN 100'	
REQUIRED: $(0.75) * (40625) = 30469$ s.f.	
PROVIDED: 25116 s.f. DISTURBANCE = 61.8%	

NOTES

- TOPOGRAPHICAL INFORMATION IS A RESULT OF AN ACTUAL FIELD SURVEY BY HAYES ENGINEERING, INC.
- DATUM IS NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- FINAL SIZE OF DOMESTIC WATER & FIRE SERVICE LINES TO BE DETERMINED BY PLUMBING CODE AND/OR NFPA REQUIREMENTS FOR SPRINKLER DESIGN.
- FIRE DEPARTMENT CONNECTION TO BE INSTALLED ON EAST SIDE OF THE BUILDING. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH N. READING FIRE DEPARTMENT.
- SEE SEPTIC SYSTEM DESIGN PLAN FOR ADDITIONAL INFORMATION REGARDING SEPTIC SYSTEM INSTALLATION DETAILS & TEST HOLE DATA.
- CURB CUT WORK AT STATE HIGHWAY SHALL BE PERFORMED IN ACCORDANCE WITH MASSACHUSETTS STATE HIGHWAY CURB CUT PERMIT.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL DRAINAGE PIPING SHALL BE SMOOTH INTERIOR WALL HIGH DENSITY POLYETHYLENE (HDPE) PIPE.
- ALL CATCH BASIN GRATES ARE DOUBLE GRATE TYPE.
- SEE ALSO ORDER OF CONDITIONS ISSUED BY THE NORTH READING CONSERVATION COMMISSION IN FEBRUARY 2008.
- COORDINATE FINAL SIZE AND LOCATION OF ROOF DRAIN(S) WITH OWNER & ARCHITECT.
- NO PLANTINGS ARE PROPOSED IN INFILTRATION BASIN. USE ONLY LOAM & SEED.
- ALL LOAM & SEED AREAS TO RECEIVE A MINIMUM OF A 4-INCH LAYER OF LOAM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS IN THE NPDES STORM WATER CONSTRUCTION PERMIT. COORDINATE WITH OWNER ON REPORTING REQUIREMENTS.

LEGEND:

EXISTING CONTOUR	---	452
EXISTING SPOT ELEVATION	•	28.45
EDGE OF BORDERING VEGETATED WETLAND (BW)	---	WE #1
EDGE OF 12' BUFFER FROM BW	---	
EDGE OF 100' BUFFER FROM BW	---	
EXISTING WATER (APPROX. LOCATION)	---	
EXISTING HYDRANT	⊕	
EXISTING TELE/UTILITY POLE	⊕	
GUARDRAIL	---	
EXISTING EDGE OF PAVEMENT	---	
EXISTING BERM	---	
PROPOSED CONTOUR	---	100
PROPOSED SPOT ELEVATION	•	98.5
PROPOSED WATER	---	
PROPOSED GAS	---	
PROPOSED ELEC	---	
PROPOSED CATV	---	
PROPOSED DRAIN	---	
PROPOSED CATCH BASIN	⊕	
PROPOSED CURBING (VGC/SGC/CCB/BIT)	---	
PROPOSED SURFACE DRAINAGE FLOW PATH	---	
PROPOSED LIMIT OF WORK & SILTATION CONTROL	---	
PROPOSED RETAINING WALL	---	
PROPOSED RIP-RAP OUTLET	---	

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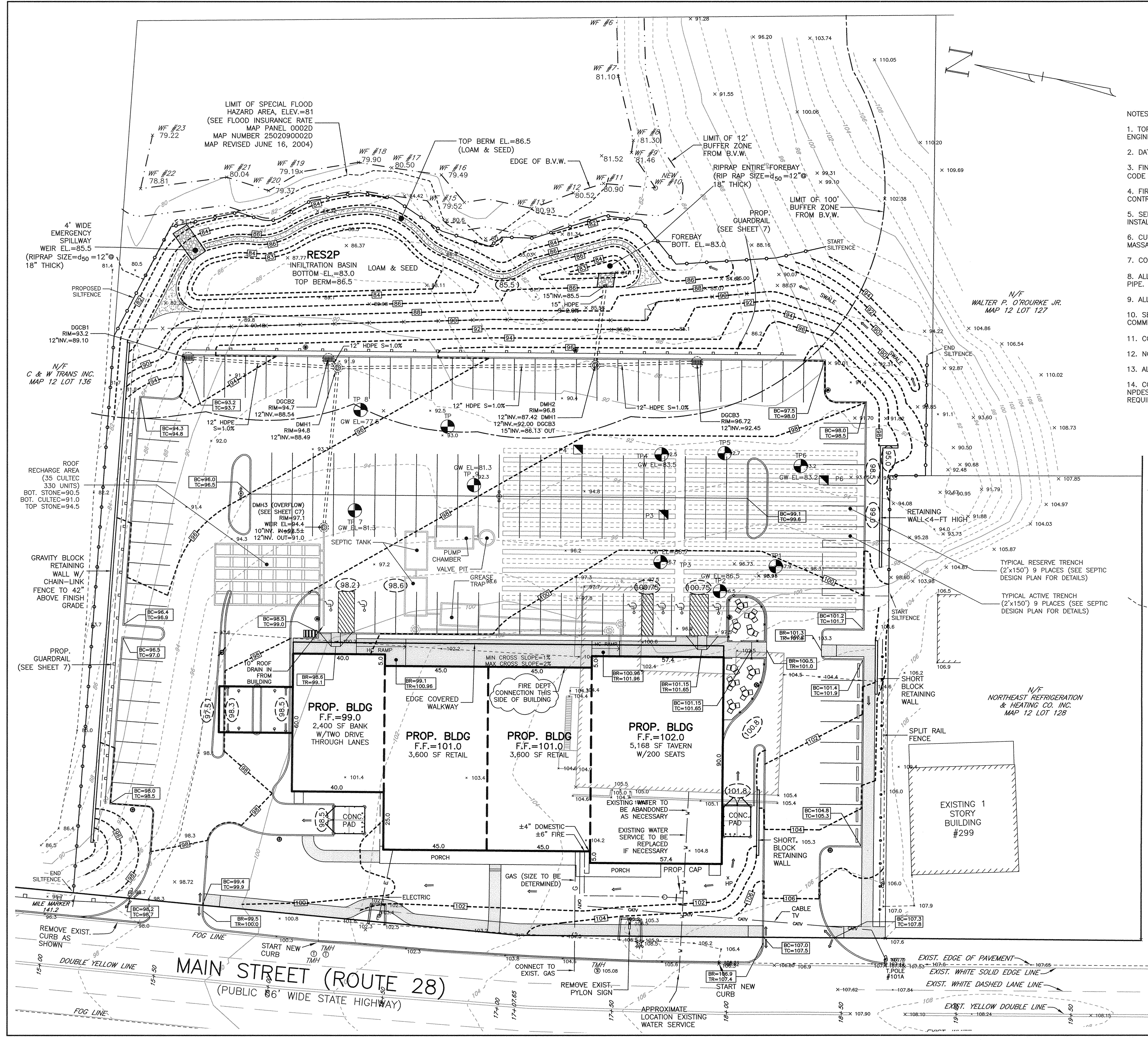
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Drawing Title:
**GRADING & DRAINAGE
 THE VILLAGE SHoppes
 OF NORTH READING,
 NORTH READING, MASS.**

Drawing No.:
C3

SHEET 3 OF 8



REMOVE EXIST. CURB AS SHOWN

DOUBLE YELLOW LINE

FOG LINE

START NEW CURB

CONNECT TO EXIST. GAS

REMOVE EXIST. PYLON SIGN

START NEW CURB

APPROXIMATE LOCATION EXISTING WATER SERVICE

MAIN STREET (ROUTE 28)
 (PUBLIC 66' WIDE STATE HIGHWAY)

PROF. BLDG
 F.F.=99.0
 2,400 SF BANK
 W/TWO DRIVE THROUGH LANES

PROF. BLDG
 F.F.=101.0
 3,600 SF RETAIL

PROF. BLDG
 F.F.=101.0
 3,600 SF RETAIL

PROF. BLDG
 F.F.=102.0
 5,168 SF TAVERN
 W/200 SEATS

EXIST. 1 STORY BUILDING #299

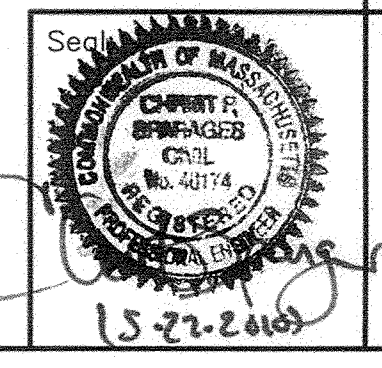
PLUFF AVE.
 (PUBLIC 40' WIDE)

EXIST. EDGE OF PAVEMENT

EXIST. WHITE SOLID EDGE LINE

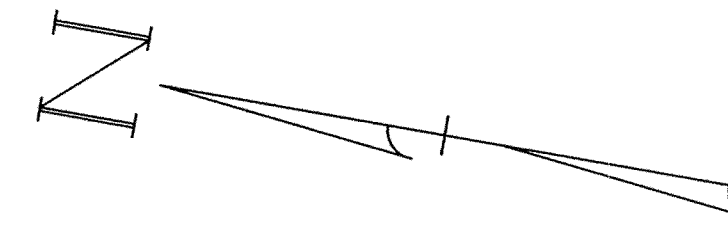
EXIST. WHITE DASHED LANE LINE

EXIST. YELLOW DOUBLE LINE



PLANTING LEGEND

PLANT TYPE	COMMON NAME	SET IN	SIZE	AMOUNT	SPACING
(1) THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	MULCH	5'-6" HT.	15	15' O.C.
(2) CERCIS CANADENSIS	EASTERN REDBUD	MULCH	2.5-3" CAL.	1	AS SHOWN
(3) CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF FLOWERING DOGWOOD	MULCH	5'-6" HT.	2	AS SHOWN
(4) RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON	MULCH	5 GAL.	19	4' O.C.
(5) JUNIPERUS COMMUNIS VAR. SAXATILIS	DWARF JUNIPER	MULCH	5 GAL.	21	4' O.C.
(6) JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	MULCH	3 GAL.	9	5' O.C.
(7) JUNIPERUS CHINENSIS 'PFITZ. COMPACTA'	COMPACT PFITZER JUNIPER	MULCH	5 GAL.	2	AS SHOWN
(8) ACER SACCHARUM	SUGAR MAPLE	MULCH	2.5-3" CAL.	5	50' O.C.
(9) RHODODENDRON ASTRINUM	FLORIDA AZALEA	MULCH	5 GAL.	4	AS SHOWN
(10) SPIRAEA SPLENDENS	ROSE MEADOWSWEET	MULCH	5 GAL.	15	AS SHOWN
(11) AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	MULCH	3'-4'	10	8' O.C.
(12) HYDRANGEA ARBORESCENS ANNABELLE	ANNABELLE HYDRANGEA	MULCH	5 GAL.	23	4' O.C.
(13) HEMEROCALLIS 'BRIGHT SUNSET'	BRIGHT SUNSET DAYLILY	MULCH	2 QT.	56	2'+ O.C.
(14) FRAXINUS PENNSYLVANICA	MARSHALL'S SEEDLES ASH	MULCH	2-2.5" CAL.	1	AS SHOWN
(15) PINUS STROBUS	EASTERN WHITE PINE	LOAM & SEED	4'-5' HT.	8	15' O.C.
(16) JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	MULCH	4'-5' HT.	4	10' O.C.
(17) ILEX GLABRA	INKBERRY	LOAM & SEED	2'-2.5' HT.	18	5' O.C.



GENERAL LANDSCAPE NOTES:

CONTRACTOR SHALL PROTECT AND SAVE ALL EXISTING VEGETATION BEYOND THE LIMIT OF GRADING.

ALL PROPOSED PLANTINGS SHALL BE ADJUSTED TO ACCOMMODATE UNDERGROUND UTILITIES.

ALL PROPOSED TREES WITHIN A SIDE SLOPE OF 3:1 OR GREATER SHALL HAVE A MINIMUM OF 5 STAKES AND WIRES EVENLY SPACED.

ALL SIDE SLOPES OF 3:1 OR GREATER SHALL BE LOAMED AND SEEDED. SEED MIXTURE SHALL BE ONE THAT ADEQUATELY PREVENTS EROSION OF SIDE SLOPES

SHRUBS AT THE ENDS OF PARKING AISLES SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0" ABOVE THE PARKING FIELD GRADE.

ALL PLANTING METHODS SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

IN THE EVENT OF DISCREPANCIES BETWEEN THE QUANTITIES OF PLANTS IN THE PLANT LIST AND THE DRAWINGS, THE PLAN SHALL GOVERN.

ALL TREES AND SHRUBS SHALL BE NURSERY GROWN WITHIN A U.S.D.A. PLANT HARDINESS ZONE WHICH IS THE SAME AS, OR COLDER THAN, THE ZONE IN WHICH THE PROJECT IS LOCATED.

ALL PLANTINGS 3' OR GREATER IN HEIGHT OR SPREAD TO BE BALLED AND BURLAPED.

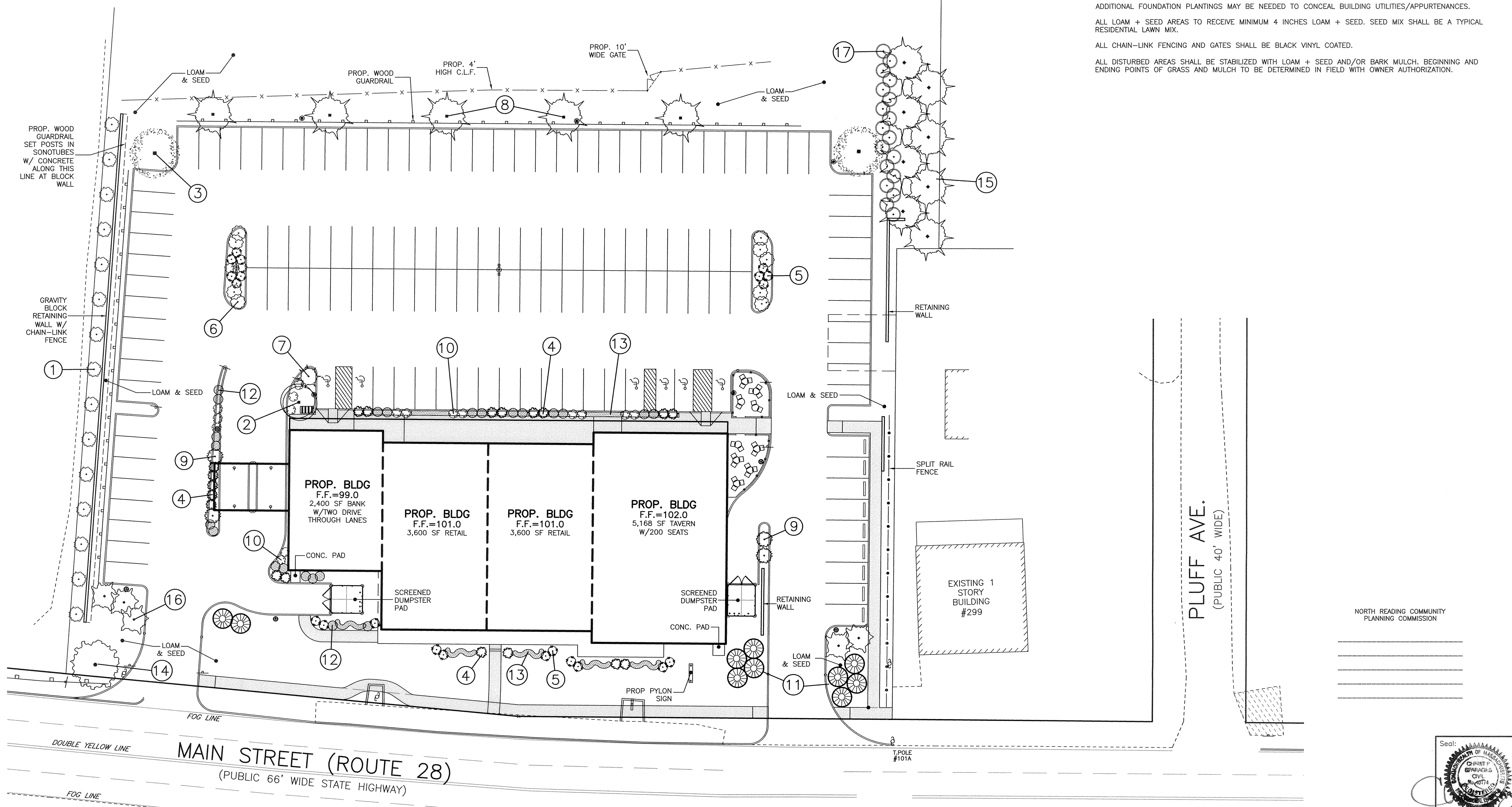
ALL PLANTINGS TO HAVE MINIMUM 3 INCHES OF WELL ROTTED PINE BARK MULCH.

ADDITIONAL FOUNDATION PLANTINGS MAY BE NEEDED TO CONCEAL BUILDING UTILITIES/APURTENANCES.

ALL LOAM + SEED AREAS TO RECEIVE MINIMUM 4 INCHES LOAM + SEED. SEED MIX SHALL BE A TYPICAL RESIDENTIAL LAWN MIX.

ALL CHAIN-LINK FENCING AND GATES SHALL BE BLACK VINYL COATED.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM + SEED AND/OR BARK MULCH. BEGINNING AND ENDING POINTS OF GRASS AND MULCH TO BE DETERMINED IN FIELD WITH OWNER AUTHORIZATION.



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Wakefield, MA 01880
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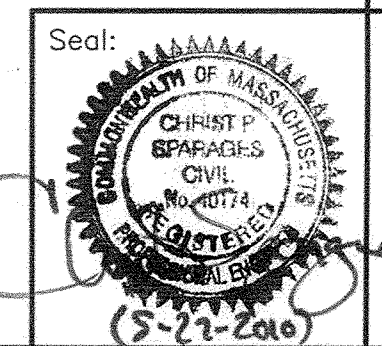
Drawing Title:

LANDSCAPE
THE VILLAGE SHOPPES
OF NORTH READING
NORTH READING, MASS.

Drawing No.:

C4

SHEET 4 OF 8



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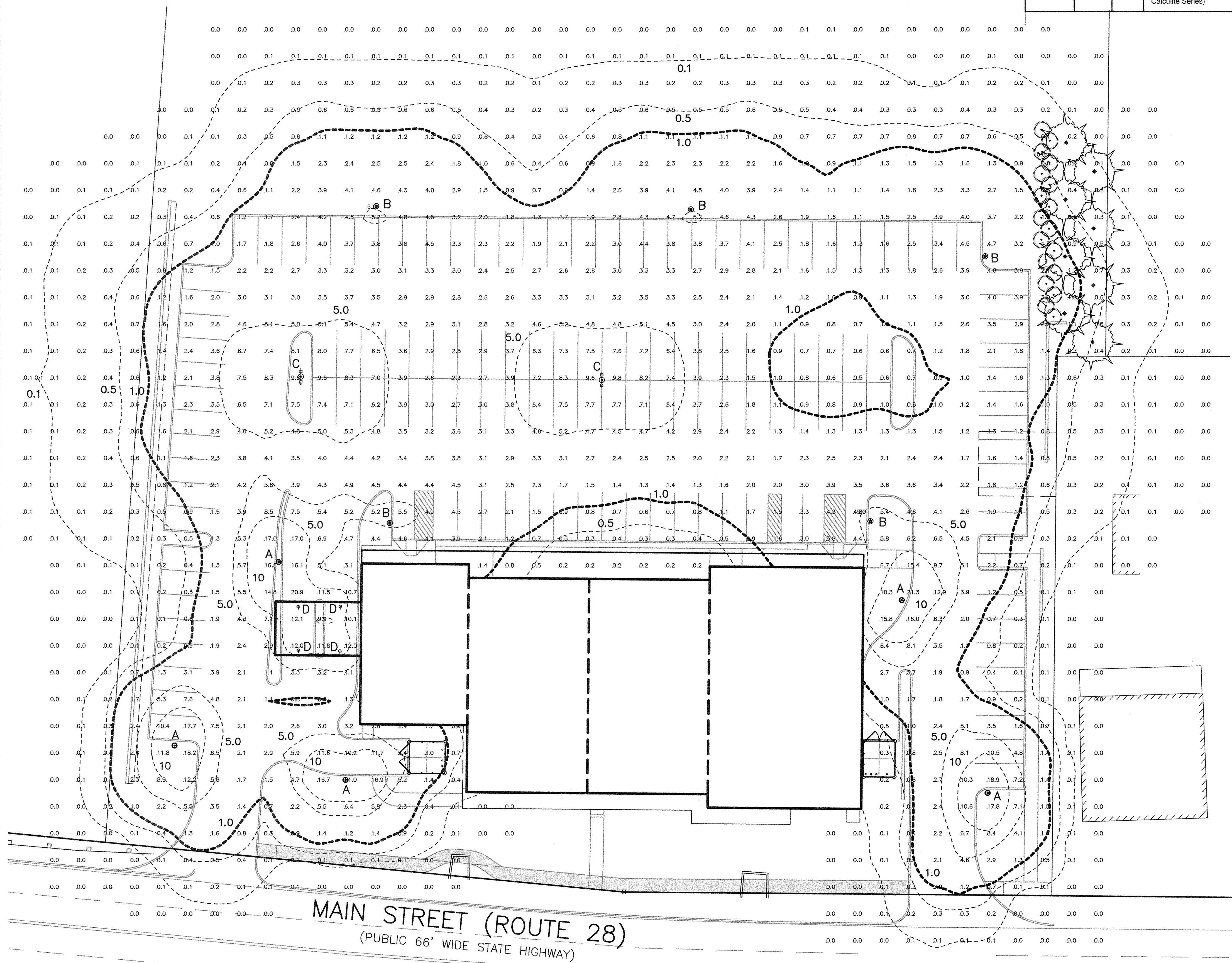
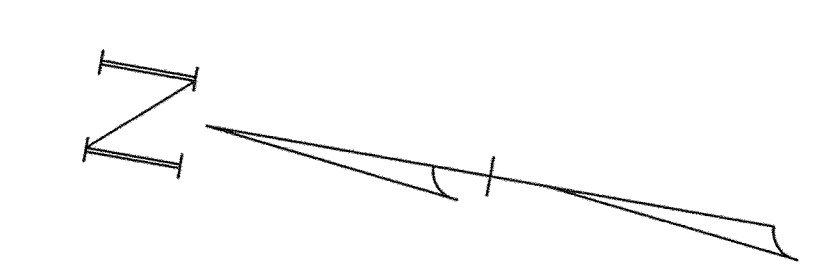
GENERAL LIGHTING NOTES:
 SECURITY LIGHTS TO BE REMAIN ON AFTER BUSINESS OPERATING HOURS.
 ILLUMINANCE VALUES SHOWN ARE PROPOSED MAINTAINED HORIZONTAL FOOTCANDLES ON LEVEL GRADE.
 PHOTOMETRIC ANALYSIS DOES NOT CONSIDER ANY EXISTING ILLUMINANCE, SHADOW OR REFLECTED LIGHT FROM EXISTING OR PROPOSED OBJECTS AND GRADE DIFFERENCES.
 HORIZONTAL ILLUMINANCE LEVELS SHOWN ARE CALCULATED FROM DATA PROVIDED FROM MANUFACTURER IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
 ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO SEVERAL FACTORS SUCH AS LAMP LUMEN DEPRECIATION, LUMINAIRE DIRT DEPRECIATION, LUMINAIRE SURFACE DEPRECIATION, AND EQUIPMENT OPERATING FACTOR.
 CONTRACTOR TO VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 * DENOTES PRORATED LAMP.
 ALL LIGHT POLES TO BE MOUNTED ON PEDESTALS. COORDINATE FINAL HEIGHT OF PEDESTAL AND POLE HEIGHT WITH OWNER PRIOR TO ORDERING MATERIALS. MOUNTING HEIGHT IN TABLE IS EQUAL TO PEDESTAL HEIGHT PLUS POLE HEIGHT PLUS LAMP HEIGHT.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Tilt	Photometric File	Initial Lumens	LLF
⊙	A	5	HAM CL-TG 400MH IR3 (volts, mounting, electrical, finish & pole to be determined by others) (Pemco Lighting Hampton Series)	Type 3 Distribution 12' Mounting Ht.	400 Watt Metal Halide Horizontal Position	0°	HAMPTON-R3-CUTOFF-05479.IES*	36,000	0.80
⊙	B	5	HAM CL-TG 400MH IR3 (volts, mounting, electrical, finish & pole to be determined by others) (Pemco Lighting Hampton Series)	Type 3 Distribution 25' Mounting Ht.	400 Watt Metal Halide Horizontal Position	0°	HAMPTON-R3-CUTOFF-05479.IES*	36,000	0.80
⊙	C	2	HAM CL-TG 400MH IR3 (volts, mounting, electrical, finish & pole to be determined by others) (Pemco Lighting Hampton Series)	Double @ 180° Type 3 Distribution 25' Mounting Ht.	400 Watt Metal Halide Horizontal Position	0°	HAMPTON-R3-CUTOFF-05479.IES*	36,000	0.80
⊙	D	4	C6E170HWCLW (Lightoller Calculite Series)	6" Aperture Wide Beam 12.5' Mounting Ht.	70 Watt Metal Halide Horizontal Position	0°	C6E170HWCLW.IES	5,700	0.80

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Traditions
 LANTERN STYLE LUMINAIRES

HAMPTON

This traditional fixture combines old-world style with today's performance in cast aluminum construction. The Hampton is designed and built to give years of maintenance-free service from the finish to the different component parts. Lenses are available in clear or opal acrylic, clear or frosted polycarbonate or tempered glass, both clear or stippled finish. Modern optical systems include internal glass refractors in IES Type III or V and internal louvers in IES Type V. See page B-32 for photometrics.

The hinged roof opens with one fastener for ease of relamping. The fixture is finished in polyester powder, baked and cured, and sealed for weather tight operation. See color chart below. For post top mounting, fixture aligns at a tenon or pole top. The Hampton can also be wall mounted on decorative arms.

Shown: Hampton Luminaire on a straight fluted extruded pole with cast decorative base PLA-512-4.

EPA: 2.9 WEIGHT: 40 lbs (max.)
 2 Year Limited Warranty
 UL / ETL / CSA Listed For Wet Locations

Ordering Example:
 HAM WH-ACR 175MH 240 P BK

Model Lens Lamp Voltage Options Finish
 HAM WH-ACR 175MH 240 P BK

Ordering Chart

MODEL NUMBER	LENS	LAMP	LAMP	VOLTS
HAM	CL-TG-Clear Tempered Glass FR-TG-Frosted Tempered Glass CL-ACR-Clear Acrylic WH-ACR-White Acrylic FR-POLY-Frosted Polycarbonate CL-POLY-Clear Polycarbonate DR-32-ACR-Double Pattern	70S, 100S, 150S	70MH, 100MH, 175MH	120, 208, 240, 277 Multi-tap 480 Single-tap

Mounting SF-5ip Fitter (S)
 Electrical PC-PhotoControl Button
 FB-Flare (single)
 FB-Flare (double)
 ND-Induction Lamp
 WT-Multi-Tap Ballast

Finish BK-Black
 WH-White
 GR-Green
 AL-Aluminum
 VP-Verde Patina
 PP-Powder Patina
 SM-Clear Metallic
 CO-Custom Color

Optical CL-Clear Lens
 CL-IR3-IR3 Clear Lens (Type III / V) Inner Glass Reflector
 IR3S-Internal Horizontal Reflector Cut-Off (Type III / V)
 ILA-Internal Louver (stippled)
 ILP-Internal Louver (polished)
 IL-LARGE-Internal Louver (large size, polished only)

PEMCO Lighting Products, Inc. 159 Pemco Way - Wilmington, DE 19804 Phone 302.892.9003 Fax 302.892.9005 www.pemco-lighting.com pemco@ix.netcom.com B-18 (2007)

Design By: CPS
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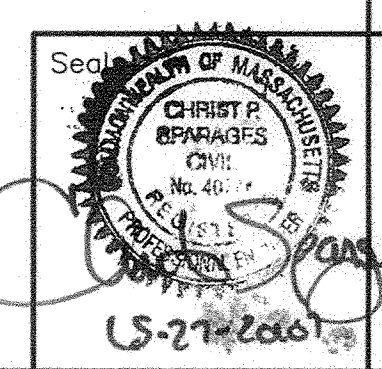
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Date: December 3, 2007

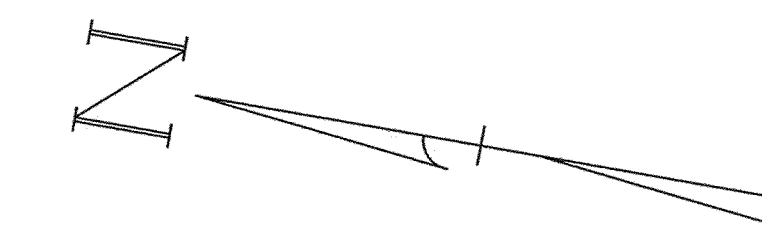
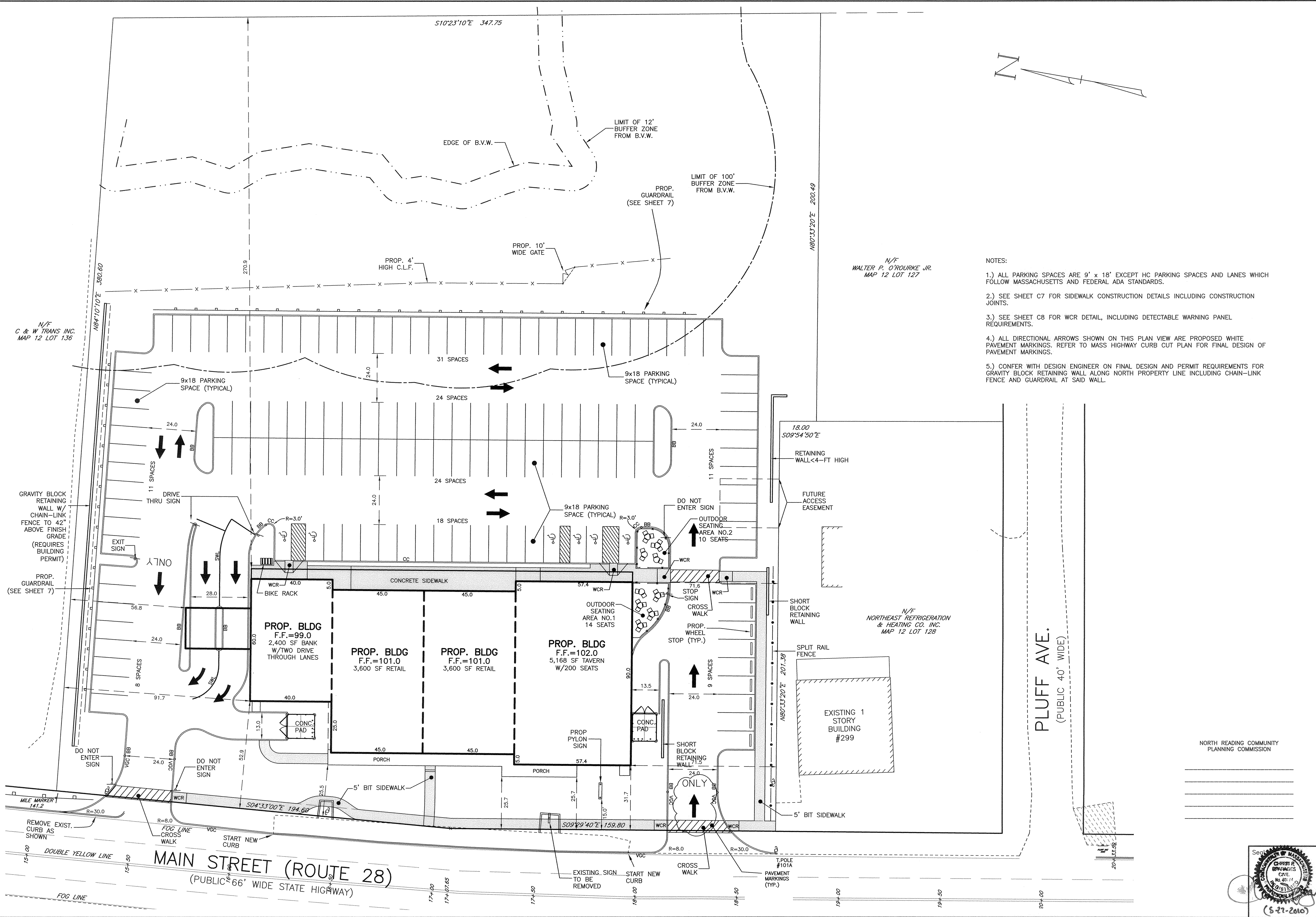
PLUFF AV.
 (PUBLIC 40' WIDE)

NORTH READING COMMUNITY
 PLANNING COMMISSION

Drawing Title:
**PHOTOMETRIC
 THE VILLAGE SHOPPES
 OF NORTH READING
 NORTH READING, MASS.**



Drawing No.:
C5
 SHEET 5 OF 8



N/F
WALTER P. O'ROURKE JR.
MAP 12 LOT 127

NOTES:

- 1.) ALL PARKING SPACES ARE 9' x 18' EXCEPT HC PARKING SPACES AND LANES WHICH FOLLOW MASSACHUSETTS AND FEDERAL ADA STANDARDS.
- 2.) SEE SHEET C7 FOR SIDEWALK CONSTRUCTION DETAILS INCLUDING CONSTRUCTION JOINTS.
- 3.) SEE SHEET C8 FOR WCR DETAIL, INCLUDING DETECTABLE WARNING PANEL REQUIREMENTS.
- 4.) ALL DIRECTIONAL ARROWS SHOWN ON THIS PLAN VIEW ARE PROPOSED WHITE PAVEMENT MARKINGS. REFER TO MASS HIGHWAY CURB CUT PLAN FOR FINAL DESIGN OF PAVEMENT MARKINGS.
- 5.) CONFER WITH DESIGN ENGINEER ON FINAL DESIGN AND PERMIT REQUIREMENTS FOR GRAVITY BLOCK RETAINING WALL ALONG NORTH PROPERTY LINE INCLUDING CHAIN-LINK FENCE AND GUARDRAIL AT SAID WALL.

Prepared For:
Applicant:
D.O.B. Realty Inc.
154 Broadway
Somerville, MA
Tel: 617 592 7800

Prepared By:
Hayes
Hayes Engineering, Inc.
603 Salem Street
Wakefield, MA 01880
Ph: 781.246.2800
Fax: 781.246.7596
www.hayeseng.com

Design By: CPS
Drawn By: MEM
Checked By: CPS
Job No: NOR-0182A
Comp. No: NOR49
 Issued For Permit
 Issued For Review
 Issued For Bid
 Issued For Construction
 Not For Construction

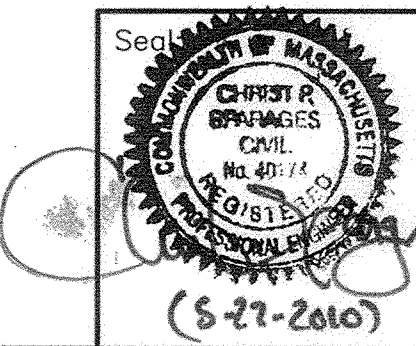
No.	Revision	Date
10		
9		
8		
7		
6		
5	Add Outdoor Seating	5/27/10
4	Move Building/Reduce Parking Size	2/17/08
3	Town Comments	2/17/08
2	Town Comments	1/15/08
1		

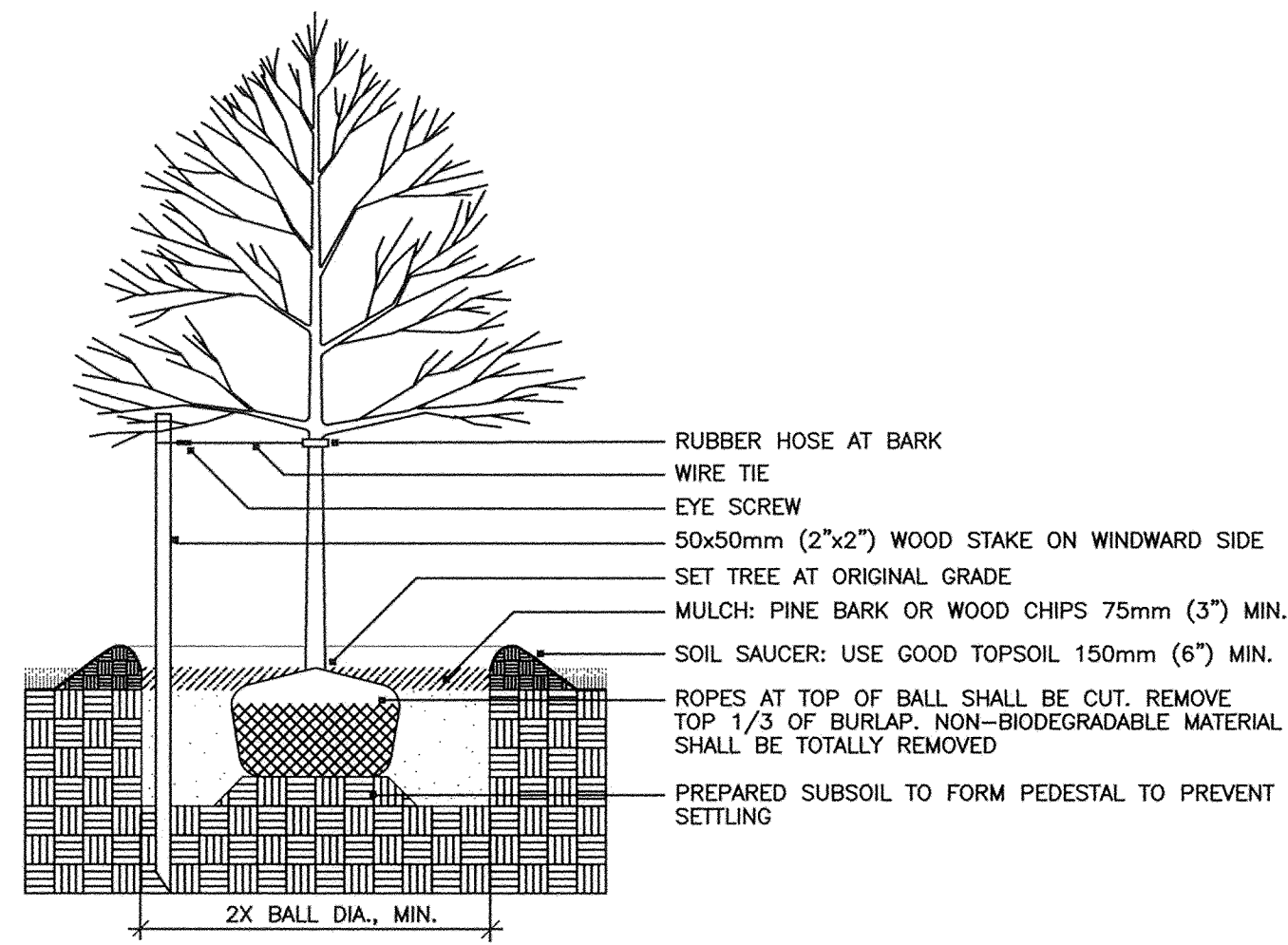
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0' 10' 20' 40'
Date: December 3, 2007

Drawing Title:

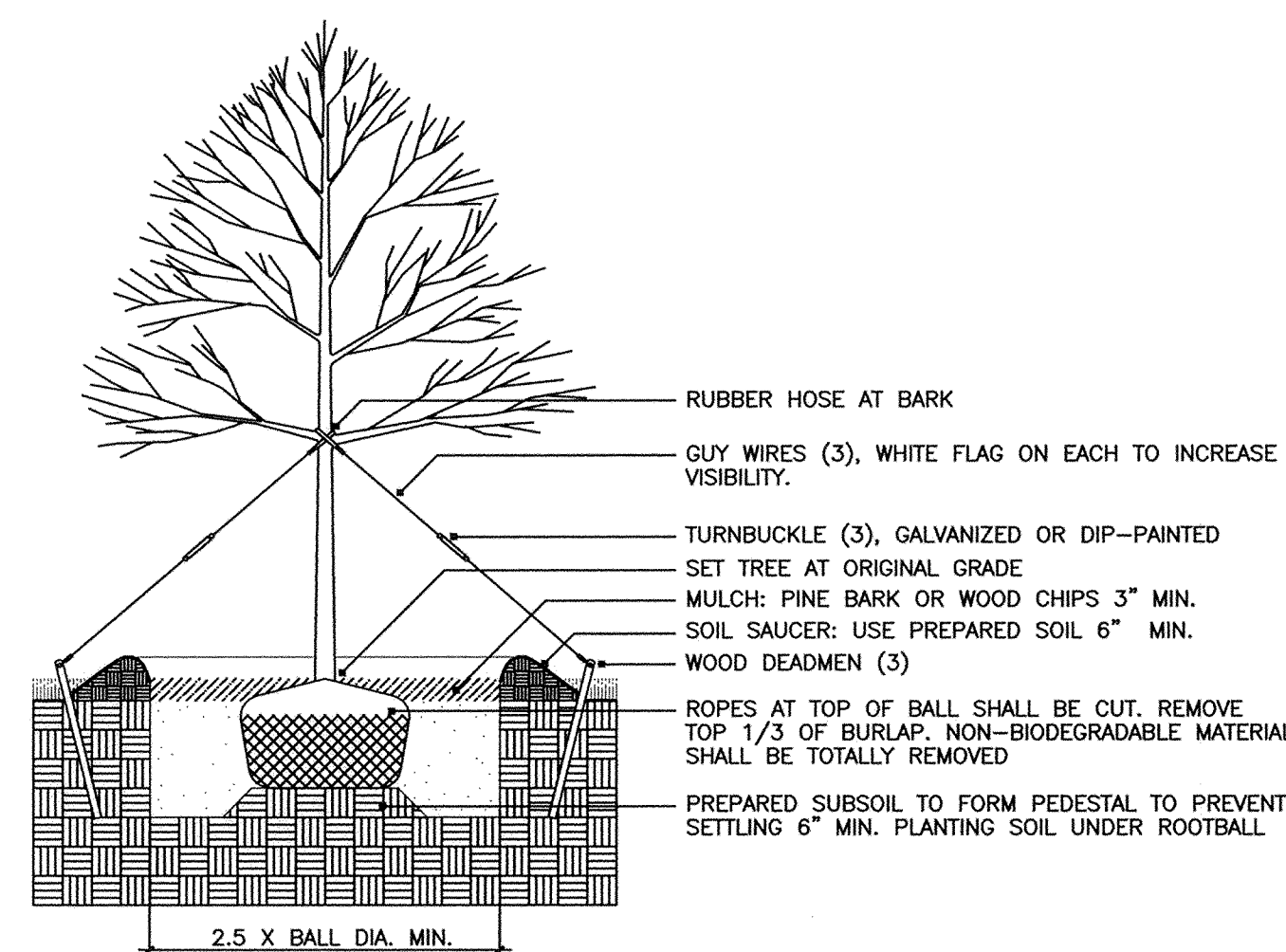
LAYOUT
THE VILLAGE SHOPPES
OF NORTH READING,
NORTH READING, MASS.

Drawing No.:
C6
SHEET 6 OF 8

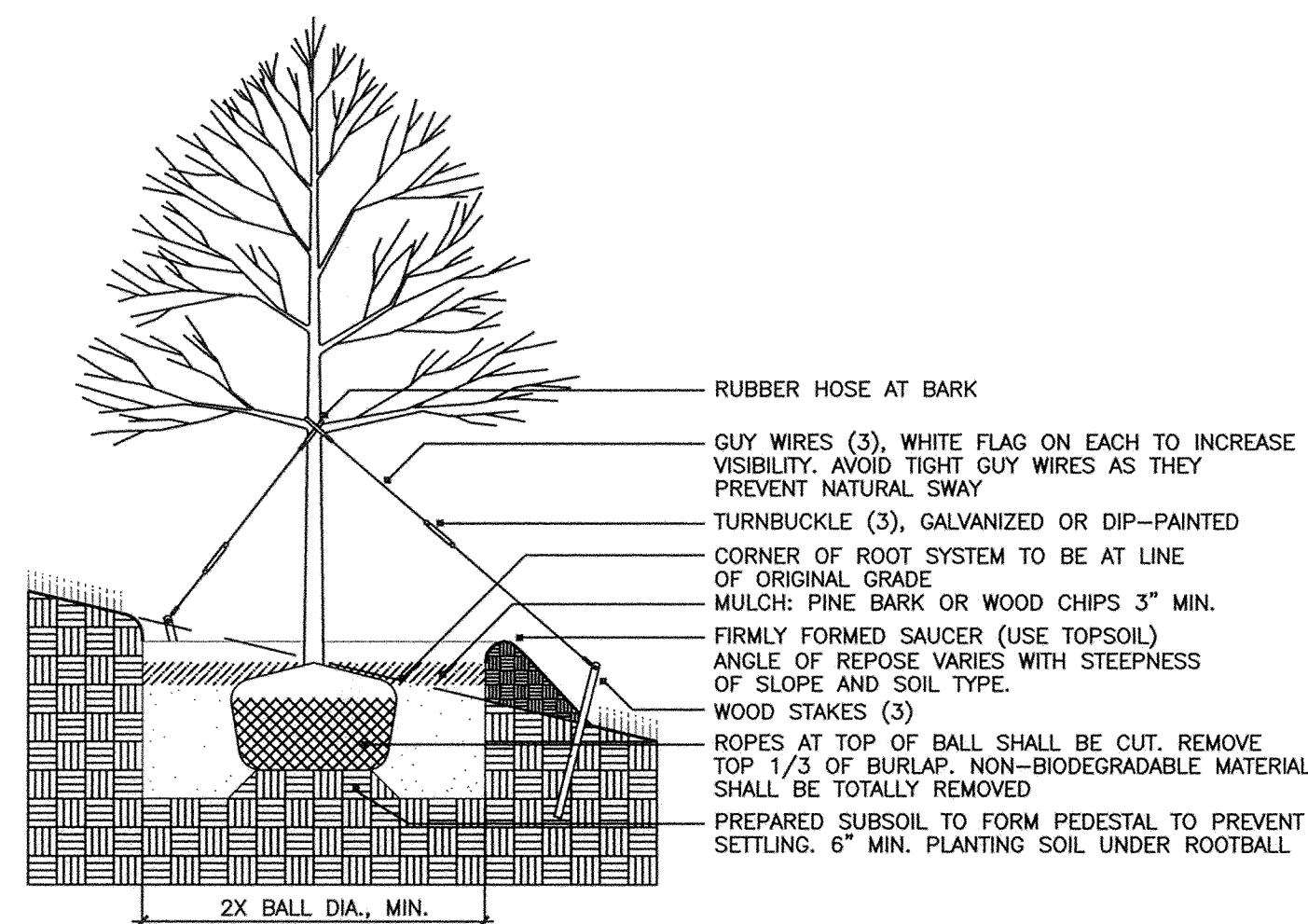




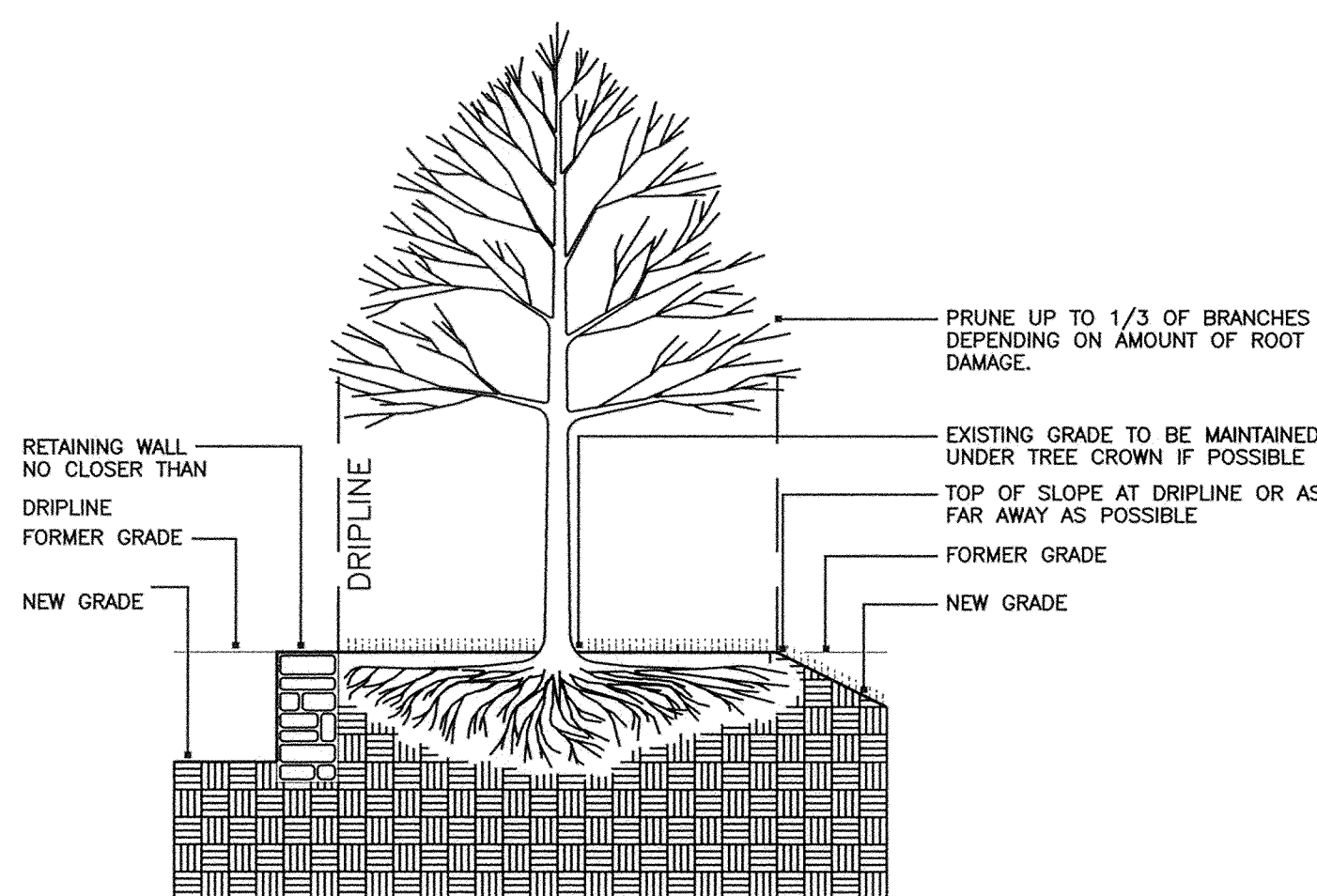
DECIDUOUS TREE PLANTING WITH STAKE AND WIRE TIE
NOT TO SCALE



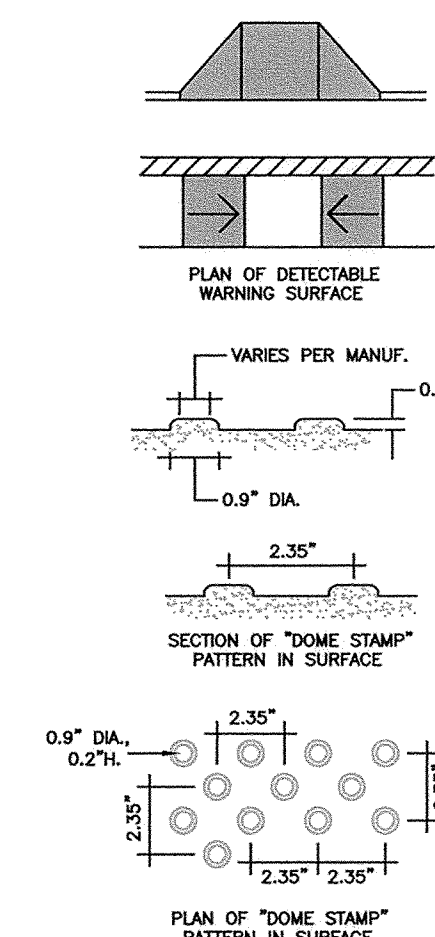
DECIDUOUS TREE PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING ON SLOPE
NOT TO SCALE

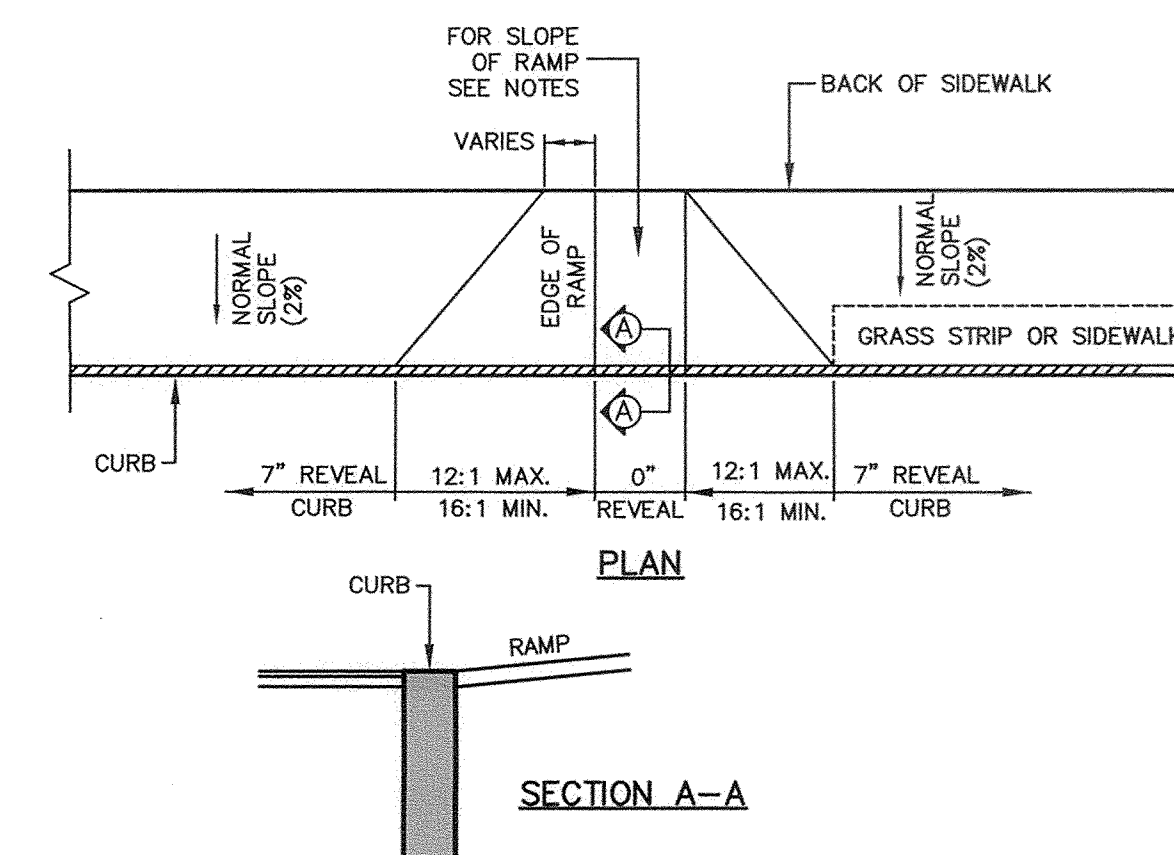


TREE PROTECTION IN CUT
NOT TO SCALE



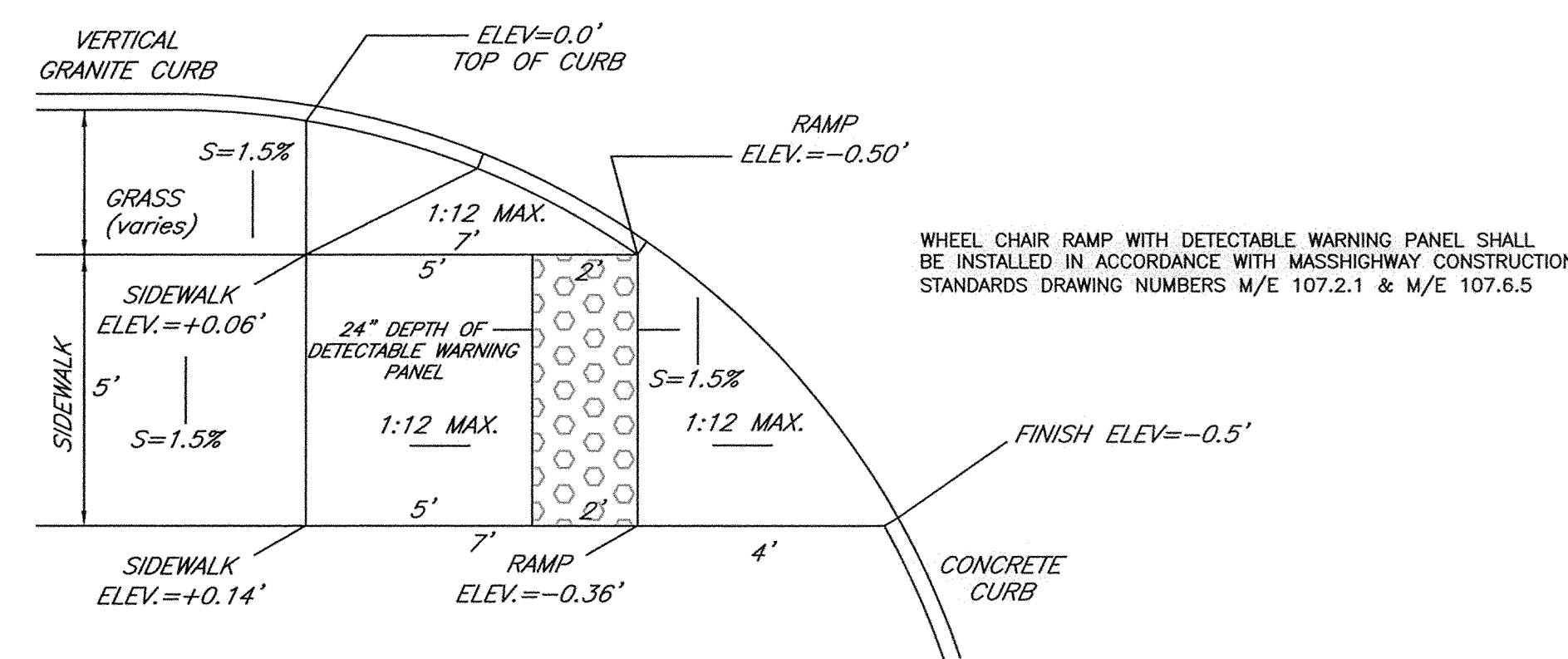
- CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP INCLUDING ANY FLARES. THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE.

A.D.A. ACCESS DETAILS
NOT TO SCALE



- SLOPE OF RAMP VARIES WITH SIDEWALK WIDTH AND HEIGHT, WITH A MAXIMUM SLOPE OF 12:1 AND MINIMUM SLOPE OF 16:1.
- A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
- MAINTAIN THE NORMAL GUTTER PROFILE THROUGHOUT THE RAMP AREA.
- INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF THE RAMP.
- MAINTAIN 0" OF CURB REVEAL AT THE RAMP. (SEE SECTION A-A)
- A MINIMUM OF 5 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (IE. HYDRANTS, UTILITY POLES, SIGNS, ETC.)

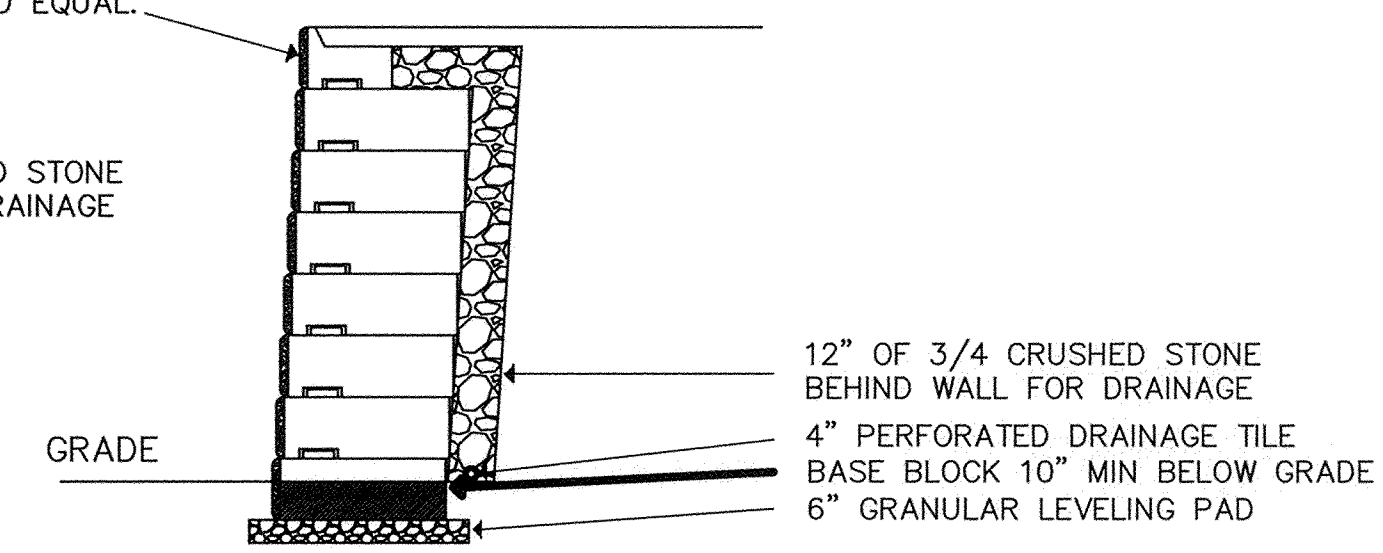
TYPICAL SIDEWALK RAMP
NOT TO SCALE



TYPICAL WHEELCHAIR RAMP & GRADES @ DRIVEWAYS
NOT TO SCALE

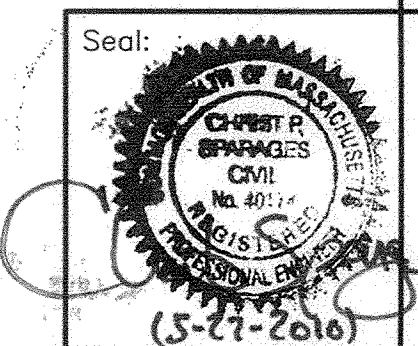
BLOCK WALL SHALL BE SHEA CONCRETE BLOCK WALL SYSTEM, OR APPROVED EQUAL.

12" OF 3/4 CRUSHED STONE BEHIND WALL FOR DRAINAGE



TYPICAL CROSS-SECTION GRAVITY BLOCK WALL
NOT TO SCALE

NORTH READING COMMUNITY PLANNING COMMISSION



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Scale: NONE
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Drawing Title:

DETAILS
THE VILLAGE SHOPPES
OF NORTH READING
NORTH READING, MASS.

Drawing No.:
C8
SHEET 8 OF 8